

HAMILTON PLACE CMBS LLC
2100 HAMILTON PLACE BLVD
1491 A 001
ZONED C-4

NEW DUMPSTER ENCLOSURE DETAILS
PROVIDED ON ARCHITECTURAL PLANS
ENCLOSURE SHALL BE PER CITY OF
CHATTAHOOGA STANDARDS. 6' MIN
HEIGHT AND OPAQUE ON ALL SIDES
WITH GATES.

ATRIUM PARTNERS LLC
7305 JARNIGAN RD
1491 A 007
ZONED R-4 SPECIAL ZONE
MEDICAL OFFICE USE
(NO RESIDENTIAL)

SEE SITE ELECTRICAL PLANS
FOR LIGHT POLE LOCATIONS,
BASE DETAILS, ETC.

ACCESSIBLE PARKING
SYMBOL, SIGN IN BOLLARD,
AND LOADING ZONE
PAVEMENT MARKINGS PER
CITY OF CHATTANOOGA
STANDARDS. SEE CITY OF
CHATTAHOOGA ACCESSIBLE
PARKING STANDARD DRAWING
ON SHEET C-12.

ATRIUM PARTNERS LLC
1948 GUNBARREL RD
1491 A 005
ZONED C-2

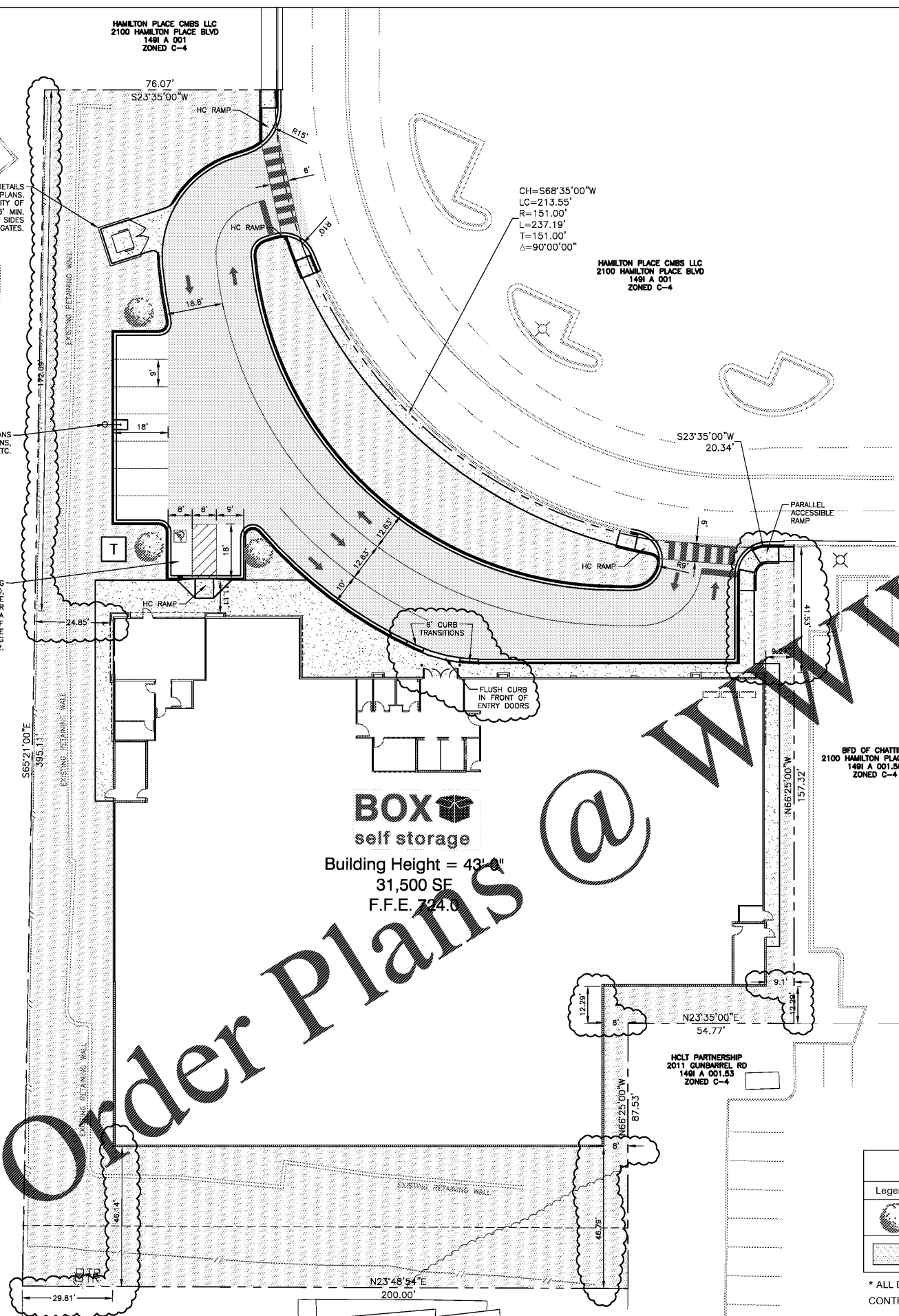
HAMILTON PLACE CMBS LLC
2100 HAMILTON PLACE BLVD
1491 A 001
ZONED C-4

BOX
self storage

Building Height = 43'-0"
31,500 SF
F.F.E. 724.0

HCLT PARTNERSHIP
2011 GUNBARREL RD
1491 A 001.53
ZONED C-4

BROADVIEW CHATTANOOGA LLC
2001 GUNBARREL RD
1491 A 003
ZONED C-4



- CITY OF CHATTANOOGA LANDSCAPE NOTES/SUMMARY**
- PROJECT IS NEW CONSTRUCTION
 - PROPOSED BUILDING IS 2.5 STORIES
 - INCREASE OF BUILDING FOOTPRINT OF 49%
 - DECREASE OF PARKING STALLS AS A RESULT OF THE PROJECT
 - PROJECT SITE IS ZONED C-2 PER CASE 2019-022. SECOND COUNCIL READING DATE OF 3/19/19. NO SPECIAL ZONING CONDITIONS.
 - COMPLY WITH ALL BUFFER AND TREE PROTECTION REQUIREMENTS AND SCHEDULE A PRE-CONSTRUCTION INSPECTION WITH THE CITY OF CHATTANOOGA'S LANDSCAPE INSPECTOR, PRIOR TO THE ONSET OF CONSTRUCTION OR LAND DISTURBANCE. AN APPOINTMENT MAY BE SCHEDULED BY CALLING (423)843-5837 A MINIMUM OF TWO BUSINESS DAYS BEFORE THE DESIRED INSPECTION APPOINTMENT.
 - COMPLY WITH ALL PERMANENT LANDSCAPE REQUIREMENTS AND SCHEDULE A LANDSCAPE INSPECTION WITH THE CITY OF CHATTANOOGA'S LANDSCAPE INSPECTOR. AN APPOINTMENT MAY BE MADE BY CALLING (423)843-5837 A MINIMUM OF TWO BUSINESS DAYS BEFORE THE DESIRED INSPECTION APPOINTMENT.
- PARKING SUMMARY**
- PROPOSED BUILDING FOOTPRINT AREA = 31,500± SF
 - PROPOSED OFFICE AREA (PARKING REQUIRED AT 100 SF) = 1,000± SF
 - NUMBER OF PARKING SPACES REQUIRED = 6 SPACES
 - NUMBER OF PARKING SPACES SHOWN = 9 SPACES
 - NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED = 1 SPACE
 - NUMBER OF ACCESSIBLE PARKING SPACES SHOWN = 1 SPACE

- Parking and Paving Notes**
- All signs, pavement markings, and other traffic control devices shall conform to the FHWA manual on uniform traffic control devices, and handicapped signing shall meet Tennessee disabled parking regulations.
 - All pavement markings shall be four (4) inches wide solid white unless indicated otherwise on the drawings. All handicap parking stalls to be blue striping.
 - A minimum clearance of two feet shall be maintained between the face of curb and any part of a sign or light pole. HC signs in sidewalk shall have 3' min. clearance for HC accessibility.
 - Contractor shall furnish and install all pavement markings as shown on the plans.
 - Contractor shall coordinate installation of all signs, pavement markings, and other traffic control devices with other contractors on site.
 - Contractor shall saw-cut to provide smooth transitions at tie-ins to existing edges of pavement.
 - Joints or score marks are to be sharp and clean without showing edges of jointing material.
 - All concrete for curbs, sidewalks & pavement shall be class a 4000 p.s.i. Transverse/Contraction shall be 4000 p.s.i. unless otherwise noted.
 - Contractor shall saw-cut tie-ins at existing curbs as necessary to provide smooth transitions. Contractor shall saw-cut and transition to meet existing pavement as necessary and as directed by inspector to insure positive drainage. (typical @ all intersections)
 - Contractor shall comply with all pertinent provisions of the "Manual of Accident Prevention in Construction" issued by AGC of America, Inc., and the Safety and Health Regulations for Construction issued by the U.S. Department of labor.
 - Contractor shall be responsible for cost of pavement replacement where utility lines are extended from existing lines to the building.
 - All ramps constructed are to be a slope of 1:12.
 - Concrete dumpster pads to be flush with pavement unless otherwise noted.
 - All curbs to be to face of curb unless indicated otherwise.
 - All work shall comply with all applicable codes, regulations, and/or local standards imposed by local utility, county, and state.
 - Necessary barricades, sufficient lights, signs and other traffic control methods as may be necessary for the protection and safety of the public shall be provided and maintained throughout the construction of driveways connecting to all roadways.
 - These plans are not to be used for building layout. See Architectural Plans to layout building.

FEDERAL FLOOD NOTE:
This property is located in Flood Zone X per the flood insurance rate map, map no. 47065C0366G, having an effective date of February 3, 2016.

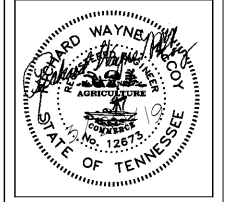
PLANS LEGEND:

	NEW STANDARD DUTY ASPHALT PAVEMENT
	NEW HEAVY DUTY ASPHALT PAVEMENT
	NEW CONCRETE PAVEMENT
	NEW LANDSCAPE AREAS
	NEW CURB AND GUTTER
	NEW DOUBLE SOLID YELLOW LINE
	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING LIGHT POLES

Landscape Legend

Legend	Quantity	Scientific Name	Common Name	Planting Size
	3	GINKGO BILOBA (MALE)	GINKGO AUTUMN GOLD	2' CALIPER
		* BERMUDA SOD		

* ALL DISTURBED AREAS THAT ARE NOT PAVED OR SHOWN TO BE SODDED SHALL BE SEEDED.
CONTRACTOR SHALL PROVIDE DESIGN/BUILD IRRIGATION SYSTEM.



MILLER-MCCOY, INC.
CONSULTING ENGINEERS
915 CREEKSIDE ROAD CHATTANOOGA, TENNESSEE 37406
PHONE (423) 698-2664 FAX (423) 698-2664

CIVIL ENGINEER:

Mr. Adam Ellsworth
HICKORY CAPITAL GROUP
4116 Outer Drive
Nashville, Tennessee 37204

DEVELOPER:

BOX
self storage
2056 Hamilton Place Boulevard
Chattanooga, TN 37421
Parcel ID: 1491 A 001.57

PROJECT:

REVISIONS

1	REVISION #1	4-3-19
2		
3		
4		
5		
6		
7		
8		
9		
10		

SHEET NAME:
SITE PLAN

DATE: 3-20-19
DRAWN BY: DPC
CHECKED BY: RWM
PROJECT NO.: 18141

SHEET NUMBER:
C-6

Site Data

Owner:
Lebcon Associates
CBL Center, Suite 500
2030 Hamilton Place Blvd.
Chattanooga, TN 37421
Curt Hammonree 423-490-8603

Developer:
Hickory Capital Group, LLC
4116 Outer Drive
Nashville, TN 37204
Adam Ellsworth 615-495-0632

Civil Engineer:
Miller-McCoy, Inc.
915 Creekside Road
Chattanooga, TN 37406
Richard Wayne McCoy, P.E. 423-698-2661

property information:
parcel ID: 1491_A_001.57
Zoning: C-2

Lot 41
Hamilton Place

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Order Plans @

