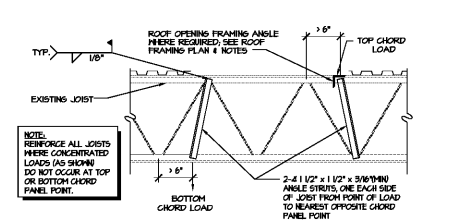


TYPICAL ROOF OPENING DETAIL
SCALE: NOT TO SCALE



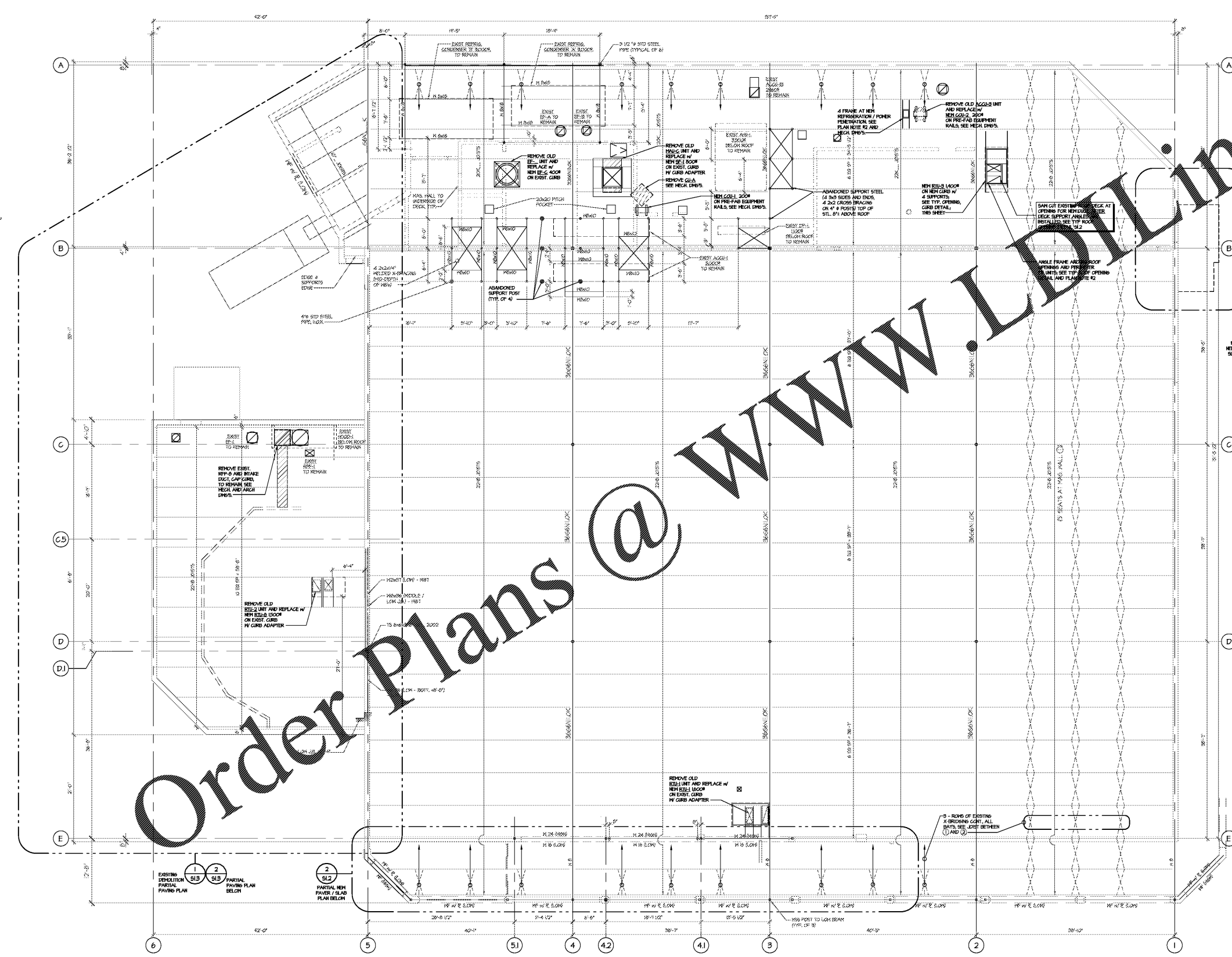
TYPICAL REINFORCED JOIST DETAIL
SCALE: NOT TO SCALE

PRIOR TO THE START OF ANY WORK OR FABRICATION OF MATERIALS, FIELD VERIFY ALL EXISTING CONDITIONS, INCLUDING DIMENSIONS AND ELEVATIONS, WHETHER EXPOSED TO VIEW OR NOT. IF DISCREPANCIES ARE FOUND, CONTACT THE ARCHITECT / ENGINEER FOR ADDITIONAL DIRECTION.

** THE INFORMATION REGARDING THE EXISTING STRUCTURE WAS OBTAINED FROM THE FOLLOWING RECORD DRAWINGS AND BY FIELD INVESTIGATION:
1. HARRIS TEETER STORE #289, GLENWOOD SHOPPING CENTER, RALEIGH, NC. PREPARED BY LITTLE & ASSOCIATES, ARCHITECTS, DATED 04/24/2005.
ALL INFORMATION SPECIFYING EXISTING CONDITIONS MUST BE VERIFIED BY THE GENERAL CONTRACTOR.

- GENERAL WORK NOTES:**
- ALL EXISTING EXPOSED STEEL SHALL BE PREPARED AND COATED W/ 2 - COATS GILD GALVANIZING, SEE ARCH DWD'S.
 - IF NEW ROOF PENETRATIONS ARE REQUIRED, PROVIDE FLASHING AND ROOF REPAIRS TO MATCH EXISTING. THEY SHALL BE IN ACCORDANCE WITH THE ROOF MANUFACTURER'S REQUIREMENTS. PROVIDE PRE AND POST HOLE REPAIRS TO MATCH EXISTING. PROVIDE PRE AND POST HOLE REPAIRS TO MATCH EXISTING. PROVIDE PRE AND POST HOLE REPAIRS TO MATCH EXISTING. PROVIDE PRE AND POST HOLE REPAIRS TO MATCH EXISTING.
 - COORDINATE REMOVAL AND REPLACEMENT OF EQUIPMENT AND SUPPORT STEEL TO STORE MANAGER TO MINIMIZE DISRUPTION TO STORE OPERATION.
 - ALL NEW STEEL, PLACEMENT AND WELDING SHALL BE EXAMINED AND CERTIFIED BY AN INDEPENDENT TESTING LAB. COPIES OF THESE REPORTS SHALL BE SUBMITTED TO HARRIS TEETER AND BONDURANT ASSOCIATES FOR REVIEW.

- PLAN NOTES:**
- IF NEW ROOF PENETRATIONS ARE REQUIRED, PROVIDE FLASHING AND ROOF REPAIRS TO MATCH EXISTING. THEY SHALL BE IN ACCORDANCE WITH THE ROOF MANUFACTURER'S REQUIREMENTS. PROVIDE PRE AND POST HOLE REPAIRS TO MATCH EXISTING. PROVIDE PRE AND POST HOLE REPAIRS TO MATCH EXISTING. PROVIDE PRE AND POST HOLE REPAIRS TO MATCH EXISTING.
 - COORDINATE REMOVAL AND REPLACEMENT OF EQUIPMENT AND SUPPORT STEEL TO STORE MANAGER TO MINIMIZE DISRUPTION TO STORE OPERATION.
 - ALL NEW STEEL, PLACEMENT AND WELDING SHALL BE EXAMINED AND CERTIFIED BY AN INDEPENDENT TESTING LAB. COPIES OF THESE REPORTS SHALL BE SUBMITTED TO HARRIS TEETER AND BONDURANT ASSOCIATES FOR REVIEW.
 - ALL WELDING SHALL BE IN ACCORDANCE WITH THE AISC STRUCTURAL STEEL CODE (LATEST EDITION) (LATEST EDITION).
 - NO FIRE, CORROSION, OR EQUIPMENT SHALL BE SUPPORTED FROM JOIST ENDINGS OR METAL LEGS. PROVIDE INDEPENDENT SUPPORT MEMBER (SIZED BY CONTRACTOR) ATTACHED AT JOIST END POINT.
 - THE EXISTING ROOF STRUCTURE SHALL BE AS SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTING ROOF STRUCTURE. THE CONTRACTOR SHALL VERIFY THE EXISTING ROOF STRUCTURE. THE CONTRACTOR SHALL VERIFY THE EXISTING ROOF STRUCTURE. THE CONTRACTOR SHALL VERIFY THE EXISTING ROOF STRUCTURE.



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GENERAL CONSTRUCTION SEQUENCE GUIDELINES

- PRIOR TO BEGINNING AND THE START OF CONSTRUCTION THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS. THE OWNER AND SEQUENCE OF ALL DEMOLITION AND NEW WORK SHALL BE COORDINATED AND FINALIZED WITH HARRIS TEETER'S PROJECT MANAGER PRIOR TO THE START OF ANY WORK.
- VERIFY EXISTING CONDITIONS AND CONSTRUCTION SEQUENCE. TEMPORARY BARRICADES TO ALLOW DEMOLITION WORK.
- THE TIME AND SEQUENCE OF ALL DEMOLITION AND NEW WORK SHALL BE DETERMINED BY THE HARRIS TEETER PROJECT MANAGER.

DEMOLITION GENERAL NOTES

- IT IS THE INTENT OF HARRIS TEETER TO MAINTAIN OPERATIONS AND REPAIR OPERATIONS DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN OPERATIONS AND REPAIR OPERATIONS DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN OPERATIONS AND REPAIR OPERATIONS DURING DEMOLITION AND CONSTRUCTION.
- PROVIDE ALL NECESSARY DEMOLITION WORK AS REQUIRED TO PROVIDE THE NEW WORK. DEMOLITION WORK WHICH HAS NOT BEEN IDENTIFIED SHALL BE PROVIDED AS REQUIRED TO BEAR THE COMPLETE SCOPE OF NEW WORK.
- IDENTIFY AND PROTECT DURING DEMOLITION OPERATIONS ALL UTILITIES SYSTEMS & EQUIPMENT WHICH REMAIN IN SERVICE.
- ITEMS INDICATED TO BE REMOVED BUT OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS MORE PROMISING. TRANSFER SALVAGEABLE ITEMS FROM SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE FORFEITED.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNERS PERSONNEL AND GENERAL PUBLIC FROM HAZARD DUE TO SELECTIVE DEMOLITION WORK.
- PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BE REFINISHED DURING DEMOLITION OPERATIONS.
- REMOVE PROTECTION AT COMPLETION OF WORK.
- DO NOT USE CUTTING TORCHES FOR REMOVAL UNLESS WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONFINED SPACES, SUCH AS ROOFING SYSTEMS AND INTERIORS OF DECKS AND FIVE SPACE, VERIFY CONDITION OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN PORTABLE FIRE SUPPRESSOR DEVICES DURING FLAME-CUTTING OPERATIONS.
- REINFORCE CONCRETE IN SMALL SECTIONS. CUT CONCRETE AT UNDESIRABLE WITH CONTROL TO REMAIN USING POWER-DRIVEN SAW OR HAND TOOLS. DO NOT USE POWER-DRIVEN IMPACT TOOLS.
- PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROL AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. PROVIDE FILL CONSISTING OF APPROVED SAND, GRAVEL, OR SAND FREE OF BRUSH AND OTHER DEBRIS. SHOWN OVER 2 INCHES IN DIAMETER, ROOTS, OR OTHER ORGANIC MATTER. COMPACT TO NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D1557 STANDARD PROCTOR. PAUL LETTER LEFT FOR STRUCTURAL. FILL IS 6\"/>
- IF UNIDENTIFIED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENTED OPERATION ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO THE ARCHITECT FOR REVIEW. ACCURATE DETAIL. PROVIDE RECEIPT OF DISCREPANCY FROM ARCHITECT. REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT UNNECESSARY DELAY.
- REMOVE FROM BUILDING SITE DEBRIS, RUBBER, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE.
- COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- EXISTING SITE HAS NOT BEEN TESTED FOR HAZARDOUS MATERIALS. ALL MATERIAL AND EQUIPMENT REMOVED BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL DETERMINE IF HAZARDOUS AND MUST DISPOSE OF MATERIAL IN ACCORDANCE WITH LOCAL AND/OR FEDERAL REGULATIONS.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT, AND UNWANTED MATERIALS FROM SITE. REMOVE PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO CONTRACTOR EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOLES OR DAMAGED BY SELECTIVE DEMOLITION WORK.
- PROVIDE TEMPORARY WATER-TIGHT ENCLOSURES OR FLASHINGS AS REQUIRED TO PROTECT CONFINED CONSTRUCTION AND STORE OPERATIONS FROM OUTSIDE ELEMENTS DUE TO ANY DEMOLITION WORK. SEQUENCE DEMOLITION WORK WITH NEW WORK PROPERLY SO THAT EXPOSURE OF EXISTING CONFINED CONSTRUCTION TO REMAIN IS MINIMIZED.
- MAINTAIN EXISTING UTILITIES REQUIRED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- LOCATE, IDENTIFY, SHUT OFF, AND DISCONNECT UTILITY SERVICES THAT ARE NOT REQUIRED TO REMAIN. PROVIDE EVIDENCE CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICE TO OCCUPIED AREAS OF BUILDING. PROVIDE MINIMUM 72 HOURS ADVANCE NOTICE TO OWNER IF BATTERDOWN OF SERVICE IS NECESSARY DURING CONSTRUCTION.

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Date: SEPTEMBER 10, 2019 Job No. 1922

Revision	Date	By	Check

BONDURANT ASSOCIATES
ENGINEERING & ARCHITECTURE

2000 NORTH CAROLINA STATE BUILDING CODE
ALL LOADS PER THE 2000 NORTH CAROLINA STATE BUILDING CODE

SLAB-ON-GRADE	100 psf
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D. LIVE LOAD DESIGN DATA PER 2000 NORTH CAROLINA BUILDING CODE:
1. UNIFORM LIVE LOAD, $L = 40$ psf
2. FLAT-ROOF SNOW LOAD, $P = 4.5$ psf
3. WIND EXPOSURE FACTOR, $C_e = 0.8$
4. WIND IMPORTANCE FACTOR, $I_w = 1.0$
5. THERMAL FACTOR, $C_t = 1.0$

E. WIND LOAD DESIGN DATA PER 2000 NORTH CAROLINA BUILDING CODE:
1. DESIGN WIND SPEED
ULTIMATE, $V_u = 124$ mph (3-second gust)
NORMAL, $V_n = 104$ mph (3-second gust)
2. RISK CATEGORY: II
3. EXPOSURE CATEGORY: B
4. INTERNAL PRESSURE COEFFICIENT, $C_{pi} = 0.8$

2000 NORTH CAROLINA STATE BUILDING CODE
ALL LOADS PER THE 2000 NORTH CAROLINA STATE BUILDING CODE

CORPORATE ENGINEERING LICENSE #00989

Harris Teeter
Neighborhood Food & Pharmacy

HARRIS TEETER STORE #289 - REMODEL
2803 GLENWOOD AVENUE, SUITE 101
RALEIGH, NC 27608

EXISTING / NEW WORK ROOF FRAMING PLAN, DETAILS AND NOTES